

## 15-03-09 Traditional Neighborhood Development

- A. **Purpose.** This section is established to provide a floating zone to be used in appropriate locations within the city, in conjunction with underlying residential zones, to provide subdivision design incorporating traditional neighborhood standards. Traditional Neighborhood Development (TND) represents a departure from typical zoning to the extent that it requires physical design which promotes pedestrian activity (walkability) thru the incorporation of specific development guidelines. These guidelines include controlling architectural elements, driveways, walkways, landscaping, street design, and other pedestrian elements. The overall desired effect of this zone is to provide a quality living environment which encourages contact between neighbors, provides quality 'step down' housing for families in various stages of the life cycle, discourages crime (natural surveillance design), reduces overall vehicle trips, and improves air quality. Proposed developments with increased land intensity and housing density but without the above 'walkable' elements are unacceptable and will not be approved.
- B. **Procedures**
1. The Planning Commission will review all TND proposals. Proposed exterior building elevations visible from adjacent properties or streets must also be reviewed and approved by the Planning Commission.
  2. Prior to the Planning Commission taking action, plans must be submitted in accordance with the zoning ordinance.
  3. All submissions shall be made well in advance of planned construction for proper coordination and feedback, and shall be reviewed by the City Development Review Committee and/or respective architectural review committee before submittal to the Planning Commission.
  4. For a typical building project, 12 copies of the required information must be submitted for complete review and recommendation by the Planning Commission. One copy will remain on file with the Planning Division and the second copy will be returned with comments. Communication with the Planning Commission may be directed to the Community Development Director.
  5. The owner's representative, for on-going coordination with the Planning Commission, must also be identified including address and telephone number.
- C. **Land Coverage.** It is the intent to create efficient usage of land within the TND District by controlling the intensity of land use, providing sufficient critical mass and design features to create a walkable neighborhood. A signed development agreement, approved by the Planning Commission, shall be recorded as a deed restriction upon the property. Said agreement shall be binding to all future developers and property owners of said development, including the provision of homeowners' associations and/or other methods of preserving development standards and maintenance of facilities and landscape.
- D. **Uses Allowed.** Regardless of the size and ownership of individual parcels, a development plan must be submitted showing both existing and reasonable projected development on adjoining properties, determined through consultation with adjoining property owners. The intent of the above is to achieve an overall 'walkable' traditional neighborhood development with appropriate pedestrian connections, cross-easements, common driveways, consistent site standards, etc., even though properties may be individually owned.

1. **Location Restrictions.** Traditional neighborhood developments may be located at 'infill' locations where 'walkable' components (i.e. housing choices, convenience commercial, employment, community facilities, transportation linkages, park or other open space, schools, churches) are already present or planned. As a guiding principle, walkable components should be within a five minute (or 1/4 mile) walking distance. The actual blend of different types of housing and new open space (if any) shall be determined by the Planning Commission depending upon the size, scale, and location of the development and the density allowed by the underlying zone.
2. **Ancillary Uses.** All permitted and conditional land uses within the TND Zone may conduct ancillary uses, as specifically defined in §15-15, Definitions, of the Land Development Code, Revised Ordinances of Sandy City, provided such use is not regulated by other sections or is listed as a prohibited land use in this zone.
3. **Permitted and Conditional Uses.** The Traditional Neighborhood Development (TND) District is a floating zone and as such, permitted and conditional uses are governed by the requirements and standards of the specific underlying residential zone. Traditional neighborhood development may be considered as a conditional use in these zones, assuming that locational criteria, physical design, and development guidelines for TND's can be adhered to. The conditional use permit shall also consider potential changes to traffic, parking, pedestrian activity, and other impacts. Except as otherwise stipulated in the TND Zone, development proposals shall comply with the requirements of the underlying zone. The following Allowable Units per Acre Matrix shall apply to the TND Overlay Zone subdivisions of residential property which include 10 or more lots. Subdivisions of residential property less than 10 lots will be required to meet minimum lot frontage and square footage requirements as indicated within this Code.

Zone	Maximum Allowable Units per Acre
R-1-10	5.0
R-1-9	5.5
R-1-8	6.0
R-1-7.5(HS)	7.0
R-1-6	7.5
R-2-10	8.0
R-2-8	10.0

Allowable dwelling units per acre, as outlined above, are maximums based upon suitable design and compliance with TND standards and guidelines. Density may be reduced as part of the Conditional Use depending upon specific development circumstance and acceptable individual site design.

- E. **Development Standards.** The following standards are to be considered as applying specifically to development in the Traditional Neighborhood Development (TND) District in addition to general standards elsewhere in this Title.
  1. **"Traditional Neighborhood Development Master Plan".** Depending upon the size and scale of proposed projects, a walkable "Traditional Neighborhood Development Master Plan" may be required. Projects proposed with multiple phases must be submitted to the Planning staff for review and approval by the Planning Commission. The Plan must show both existing and reasonable projected development on adjoining properties, determined through consultation with city staff and adjoining property owners.

2. **Parcel Size.** Parcels shall be of sufficient size to assure compliance with building setbacks, landscaping, access, off-street parking requirements, and walkability standards, but in no case shall they less than the following standards:

Zone	Minimum Allowable Lot Size	Minimum Lot Frontage
R-1-1-0	8,000 s.f.	65 ft.
R-1-9	7,000 s.f.	60 ft.
R-1-8	6,000 s.f.	55 ft.
R-1-7.5	5,500 s.f.	55 ft.
R-1-6	4,500 s.f.	50 ft.
R-2-10	4,000 s.f.	50 ft.
R-2-8	3,500 s.f.	50 ft.

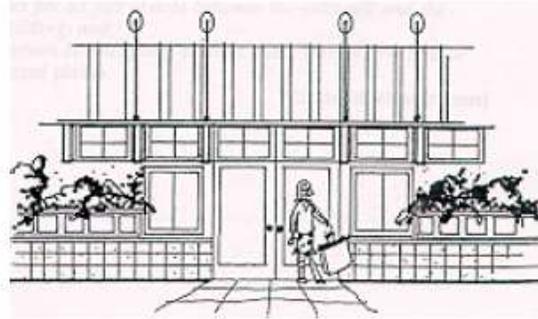
In addition to meeting the minimum lot size, each TND Development must also be within the maximum allowed dwelling units per acre. Required minimum lots sizes may be greater than stated above based upon specific development circumstance and acceptable individual site design.

3. **Building Placement**

- a. **Setbacks.** Setback regulations shall conform to the requirements of the underlying zone except as may be approved by the Planning Commission for traditional neighborhood development. Front setbacks shall range between ten and twenty feet, typically measured from the inside edge of sidewalk to the porch. Front loaded garages shall be subservient to the dwelling and shall not have a setback less than eighteen feet. Side and rear setbacks shall be determined by the Planning Commission based upon acceptable subdivision layout and design.
- b. **Building Orientation.** The entrances of all dwellings shall front onto public streets, with entrance sidewalks directly accessing the street sidewalk.
- c. **Building Height.** Dwelling structures shall comply with the height requirements of the underlying residential zone.
- d. **CPTED (Crime Prevention Thru Environmental Design).** Where practically possible, CPTED principles shall be used in the design and layout of buildings, streets, accesses and open space areas. Design shall promote natural surveillance, access control, territorial reinforcement, sense of ownership, and maintenance. CPTED landscaping guidelines shall be used, including planting shrubs with a maximum height of two to three feet and trees with a proper ground clearance of six feet above walkways and sidewalks and eight feet above vehicular travel and parking lanes.

In order to encourage public safety thru natural surveillance, natural access control, and territorial reinforcement, blank walls are not permitted adjacent to streets, pedestrian areas, and open space amenities. Developments shall have street side dwelling elevations with

extensive windows, with balconies, decks or landscape terraces encouraged. Symbolic barriers, such as low lying fences/walls, and landscaping shall be used to discourage crime and to promote safety. Fences or walls, if determined to be necessary or desirable, must be reviewed for their effectiveness in protecting private space while not creating isolated uses or dead space void of natural surveillance. Approved fences or walls shall be compatible in color, texture, and design in relationship to building materials.



Natural Surveillance

- F. **Land Use Impact and Buffering.** Landscape buffers are preferred over fences and walls where separation is desirable. A visually open look should be encouraged. Visual screening which creates 'outdoor rooms' is often more important than a physical separation and the Planning Commission may, at its own option, require special treatment of such areas.

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- G. **Architectural Design and Materials.** The treatment of buildings, materials and exterior appurtenances shall create an aesthetically pleasing dwelling and site that is in character with the proportions of other surrounding structures, and yet provides diversity in design. Requirements applicable to all dwellings are stated below:
1. That the Planning Commission review and approve building elevations and materials for all projects within the TND Overlay Zone, particularly where exposed to pedestrian and/or vehicular traffic.
  2. Basic building materials for all residential uses shall be predominantly brick or masonry. Limited amounts of stucco and masonite siding may be considered if the quality of the design merits such consideration.
  3. Buildings shall be designed to relate to grade conditions with a minimum of grading and exposed foundation walls, creating easy pedestrian access from sidewalks, parking areas, etc.
- H. **Open Space.** As a trade-off for increased density and building mass, usable open space shall be provided within the traditional neighborhood development, including but not limited to: commons, pocket parks, plazas, courtyards, landscape features, water fountains and features, greenbelts, and trail

connections. The actual amount of open space provided shall be determined by the Planning Commission based upon the size, scale, topography, and market niche of the proposed development. Design shall encourage comfortable and safe pedestrian use, including landscaping, seating areas, and lighting as appropriate.

Areas of environmental concern or interest may be required to be preserved, i.e. drainages, steep slopes, trail systems, and water features. Unless otherwise specified thru special agreement or understanding with the City, all open space areas shall be maintained by property owners or homeowner associations.

I. **Landscaping**. Front yards, open space, and other 'common' areas may be required to be landscaped. Guidelines for required landscaping are established to improve and then maintain site qualities while minimizing alteration, removal, or degradation of approved landscaping. Landscaping, in general, shall follow CPTED (Crime Prevention Through Environmental Design) principles.

1. When landscaping is required, no plans for any building, structure or other improvements shall be approved by the Planning Commission unless there shall also have been submitted landscape and streetscape plans satisfactory to the Planning Commission.
2. Landscaping in accordance with the plans submitted must be installed within 30 days following the occupancy of the site or as otherwise approved by the Planning Division as seasonal conditions may dictate.
3. The land area not occupied by buildings, structures, hard surfacing, vehicular driveways or pedestrian walkways shall be kept in a weed-free condition or landscaped, as approved by the Planning Commission.
4. The developer shall bond for such landscape improvements to ensure that installations are completed as submitted and approved. Performance assurance requirements for landscape improvements shall be the same as required by the City for street improvements.

5. Plant Materials

- a. **On-Site Trees**. **60% medium size trees**: deciduous trees with a caliper from 2 to 3 inches and evergreen trees with a height from 5 to 8 feet. **40% small size trees and shrubs** in a combination with deciduous trees with a caliper of 1 ½ to 2 inches and evergreen trees with a minimum height of 4 feet. Where possible, a **50/50** mix of deciduous and evergreen trees and shrubs shall be used for on-site landscaping.
- b. **Street trees** with a minimum 2 inch caliper as measured 6 inches above grade shall be installed along all public rights-of-way by the developer. The species-type, location, and spacing of trees shall be as shown on the approved landscape plan, in compliance with designated streets within the City's Street-scape Plan. For streets not specified in the Streetscape Plan, the following trees may be used as part of an approved landscape plan, depending upon space requirements, as recommended by the Planning Division:

Bur Oak (Quercus macrocarpa)

Flowering Pear (Pyrus calleryana 'Redspire') (Pyrus calleryana 'Aristocrat')

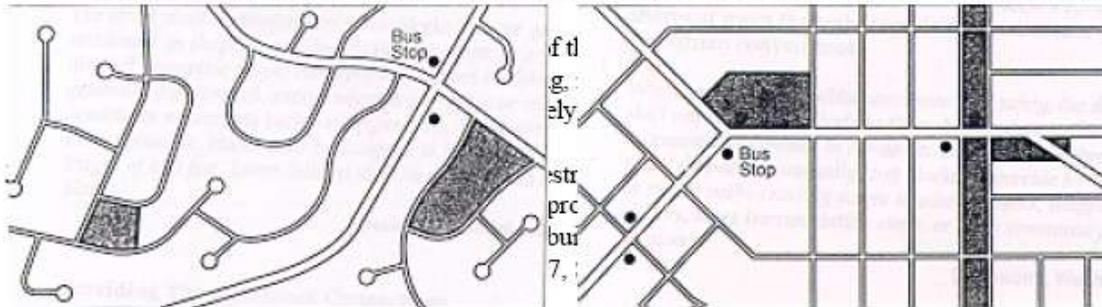
Hedge Maple (Acer campestre)

Little Leaf Linden (Tilia cordata 'Greenspire') (Tilia cordata 'Rancho')  
London Plane (Platanus acerifolia 'Bloodgood')  
Norway Maple (Acer platanoides 'Cleveland')  
 (Acer platanoides 'Columnare')  
 (Acer platanoides 'Emerald Queen')  
 (Acer platanoides 'Schwedleri')  
 (Acer platanoides 'Deborah')(Improved Schwedleri))  
Red Maple (Acer rubrum 'October Glory') (Acer rubrum 'Red Sunset')  
Red Oak (Quercus rubrum)  
Redmond Linden (Tilia euchlora 'Redmond')  
Sycamore Maple (Acer pseudoplatanus)

For planted medians, and accent trees both on-site and at intersections, the following trees may be used:

Bechtel Crab (Malus ioensis 'Klehms Improved')  
Crimson King Maple (Acer platanoides 'Crimson King')  
 (Acer platanoides 'Royal Red')  
Flowering Plum (Prunus cerasifera 'Blireiana')  
Kwanzan Cherry (Prunus serrulata 'Kwanzan')  
Washington Hawthorn (Crataegus phaenopyrum)

6. Installation. It shall be the responsibility of the developer to grade, place topsoil, seed, sod, install sprinkler irrigation systems, and properly plant trees, shrubs, and other approved plant materials.



Discontinued Street System to how adequately it meets continued Modified Grid System location of standards and fixtures shall be specified on the site development drawings. Intensities shall be controlled so that 'safety' lighting is provided while neighboring areas are protected from glare or excessive direct light. See cross section illustration for additional requirements in the report: "Sandy Civic Center Development Master Plan." Street light design fixtures shall evoke a 'village' feel and be installed as required by the Street Lighting Policy.

#### K. Streets and Pedestrian Ways

1. Streets. All accesses within a Traditional Neighborhood Development (TND) shall have connectivity with existing and future street patterns. A grid street pattern or modified grid pattern is required where practically possible. Cul-de-sac streets will not be approved unless it can be demonstrated that no other practical way exists to make connectivity. In order to uphold and enhance traditional neighborhood development principles, private streets are highly discouraged and gated communities are prohibited.
2. Widths. Street widths shall be determined during site plan review as may be recommended by the

City Transportation Engineer and approved by the Planning Commission. In general, streets shall be designed to meet the level of travel and service, while incorporating principles of traffic calming and pedestrian compatibility, i.e. tree lined streets with pedestrian ways and linkages, decreasing the need for pavement width by spreading traffic through a grid or modified street hierarchy system.

3. **Sidewalks and Walkways.** The design of pedestrian ways may include a solitary meandering pathway or trail, or other possible designs as may be approved by the Planning Commission. Choice of appropriate pedestrian access will be made based upon the scale and type of the TND project being proposed. The standard nine foot cross-section (five foot parkstrip, four foot sidewalk) is a minimum, while a wider parkstrip and/or sidewalk may be required depending upon the desired effect.
4. **Crosswalks.** Extensive use of crosswalks shall be incorporated within the project, at intersections, within parking lots, or other needed pedestrian connections. Crosswalks shall be so configured to be a design feature of the development, i.e. heavy painted lines, pavers, edges, and other methods of emphasizing pedestrian use. Bulb-outs and other pedestrian design shall be used to shorten walking distances across open pavement. Medians shall be used in appropriate areas to encourage walking and to act as a 'refuge' for crossing pedestrians.

L. **Other Forms of Transportation** All forms of transportation shall be considered within and without the traditional neighborhood development with the intent to improve convenience and reduce automobile trips. All forms of transportation should be encouraged, including, bus, bicycle, and pedestrian. Access connections shall be required where deemed essential to provide circulation or access to churches, schools, playgrounds, shopping centers, transportation, and other community facilities.

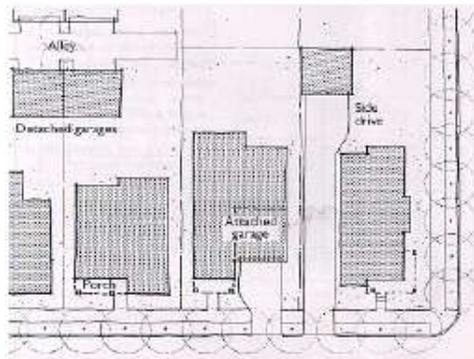
M. **Environmental Concerns**

1. Building, landscape, and solar design should adjusted, where possible, to be compatible with the local climate. Such design should include, but may not be limited to, window placement, building recesses, overhangs, trellises, awnings, porches, and landscape placement, planned in such a way to enhance livability and reduce energy costs.
2. The use of lighter colored building materials (i.e. roof tops), fences/walls, and extensive deciduous and evergreen tree cover shall be incorporated into developments in order to reduce the urban heat island effect. Where possible, streets, driveways, parking lots, etc., should use concrete or other materials which absorb less sunlight. Parking lot landscaping shall be provided at the ratio of at least one tree per six parking stalls.
3. Where possible, drought resistant ground covers, shrubs, and trees shall be incorporated into the landscape to reduce water usage and storm runoff. Extensive areas of grass or other high water use plants without a public purpose are discouraged.

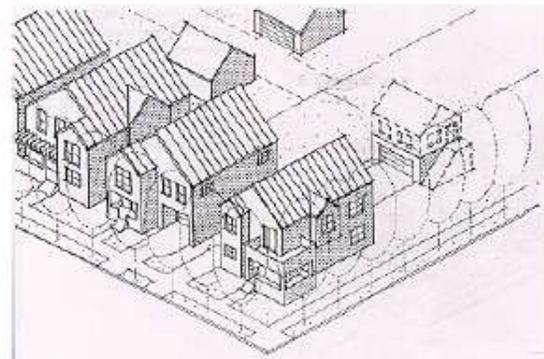
N. **Special Requirements Applicable to the TND Overlay District**

1. The following traditional neighborhood development (TND) shall be required:
  - a. The number of bedrooms per dwelling unit and other housing design options shall be varied in proportions to assist in providing suitable housing for a market range of household incomes, family size, and life cycles.
  - b. Depending on the size and scale of the project, a variety of housing types shall be employed, i.e. single family detached, twinhomes, townhomes, etc. with a mix approved by the Planning Commission.

- c. Where practically possible, like land uses and housing types shall front the same or shall front open space.
  - d. 'Subservient' garages, i.e. back loaded detached with alley access, front loaded detached, attached but setback from the front line of the home by at least five feet, side entry attached, or a combination of the above.
  - e. Roofs with a 4/12 pitch or greater.
  - f. Dwelling and garage gables facing streets and alleys.
  - g. Covered and open front porches comprising at least 50% of the front elevation (not including the garage), in no case being no less than 15 feet in width.
2. Entry sidewalks that connect directly to public sidewalks.
3. The following TND standards are strongly encouraged:
- A. Two-story dwellings.
  - B. House dormers and/or shutters, and other window treatments.
  - C. Streetside balconies/decks.
  - D. Wrap-around porches, particularly on corner lots.
  - E. Streets which de-emphasize the need and speed of automobiles.
  - F. Other pedestrian oriented design



Single Family Residential – Plan View



Single Family Residential – Elevations

- O. **Utilities in TND Developments.** All utility lines shall be underground in designated easements. No pipe, conduit, cable, line for water, gas, sewage, drainage, steam, electricity or any other energy or service shall be installed or maintained upon any lot (outside of any building) above the surface of the ground except for hoses, movable pipes used for irrigation or other purpose during construction.
- (a) Transformers shall be grouped with other utility meters where possible and screened with vegetation or other appropriate method. Front setback locations, particularly on corners, are to be avoided.
  - (b) Each contractor and owner/developer shall be responsible to know the whereabouts of all underground utilities. Protection of such utilities shall also be their responsibility. Prior to construction, contact must be made with "Blue Stakes" to identify underground utility lines.

(c) Street Tree/Street Light Coordination. Actual tree spacing during site plan review may be adjusted, as necessary, to match existing streetscape or to adapt to unique on-site conditions that would justify such, e.g. topography, street lights, power lines and poles, and other utilities. In some cases, street trees may need to be placed behind sidewalks, or eliminated, in order to accommodate on-site conditions. Parkstrips on arterial and collector streets should accommodate street trees, street lights, and other needed utilities. Street trees should be placed such that the street lighting system functions properly and achieves the desired result.

P. **General Maintenance of TND Developments.** An overall maintenance schedule shall be implemented by property owners and/or property associations in maintaining all buildings, open spaces, courtyards, landscaping fences walls drives etc