

7-14-300P PART 3 – MULTI-FAMILY
RESIDENTIAL DESIGN STANDARDS

(Ord. No 06-09 Enacted 04/11/2006)

7-14-301. PURPOSE.

(1) To promote architectural and site design treatments that enhance the visual appearance of development within West Valley City.

(2) To ensure compatibility with neighboring, lower intensity uses.

(3) To enhance the attractiveness of the streetscape and the existing architecture in West Valley City.

(4) To avoid deep setbacks behind large expanses of parking areas or vacant land.

(5) To create and maintain a strong community image and identity by providing for architectural treatments that enhance the visual experience of residential development in West Valley City.

(6) To require building articulation that reduces the mass/scale and uniform monolithic appearance of large residential buildings, and insure that residential buildings and projects incorporate architectural features that provide visual interest, while allowing design flexibility.

(7) To accomplish the goals identified in the Urban Design Chapter of the West Valley City General Plan.

(8) To increase accessibility and safety of pedestrians.

(Ord. No 06-09 Enacted 04/11/2006)

7-14-302. APPLICABILITY.

(1) The following standards are applicable to all multi-family residential development including three family, four family and multiple family dwellings as well as dwelling groups in all zones that allow such development except the City Center Zone.

(2) The following standards are applicable to new development and redevelopment.

(3) The requirements within Sections 7-14-304 through 7-14-315 may be superceded by a development agreement which is reviewed and approved by the Planning Commission and City Council. The development agreement and project must address all the Sections listed above.

(Ord. No 06-09 Enacted 04/11/2006)

7-14-303. DEFINITIONS.

(1) Architectural Banding: A minimum 6 inch horizontal band applied to the façade of a building. An architectural band can be accomplished through a change in color, texture, pattern, material or relief.

(2) Cornice: The uppermost section of moldings along the top of a wall or just below a roof.

(3) Decorative Parapet: An arched, gabled or stepped parapet.

- (4) Façade: Any face or elevation of a building.
- (5) Parapet: A low wall projecting from the edge of a roof.

(6) Primary Façade: The side of a building that faces the adjoining public or private street. With a corner lot, the street facing side with the main resident entrance shall be considered the primary façade. For buildings designed around a courtyard or parking area, the side with the main resident entrance shall be considered the primary façade.

(7) Secondary Façade: A side of a building that is not a primary façade and either is visible from a public or private street or has an entrance. A building may have more than one secondary façade.

(Ord. No 06-09 Enacted 04/11/2006)

7-14-304. PEDESTRIAN ACCESS AND CIRCULATION.

Applicants shall submit a detailed pedestrian circulation plan with all development applications that demonstrates compliance with the following guidelines and standards:

(1) Required pedestrian connections - An on-site system of pedestrian walkways shall be designed to provide direct access and connections to and between the following:

- (a) The primary entrance or entrances to each residential building, including clubhouses where applicable;
- (b) Any sidewalks or walkways on adjacent properties that extend to the boundaries shared with the residential development;
- (c) Any public sidewalk system along the perimeter streets adjacent to the residential development;
- (d) Where applicable, adjacent land uses and developments, including but not limited to adjacent residential developments, retail shopping centers, office buildings, or restaurants; and
- (e) Where applicable, any adjacent public park, greenway, trail network, or other public or civic use including but not limited to schools, places of worship, public recreational facilities, or government offices.

(2) Pedestrian connections from buildings to parking areas and amenities - In addition to the connections required above, on-site pedestrian walkways shall connect each primary entrance(s) of residential buildings to:

- (a) All parking areas or parking structures that serve such buildings;
- (b) Site amenities or gathering places; and
- (c) Transit stops and transit stations. UTA shall be contacted by the applicant during the design process to identify existing and potential transit stops. These stops shall be incorporated into the landscaping and circulation plans for the site. When recommended by City staff and UTA staff, a concrete pad shall be included for future transit stop improvements. The pad will measure a minimum of 6' x 20' with a minimum thickness of 8". All ADA requirements

shall be met as part of the design.

(3) Walkways Along Buildings. Continuous pedestrian walkways no less than four feet (4') wide shall be provided along any façade featuring an entrance and along any façade abutting resident or visitor parking areas. Pedestrian circulation shall not be obstructed.

(4) Walkways Through Vehicle Areas. At each point that the on-site pedestrian walkway system crosses a parking lot or internal street or driveway, the walkway or crosswalk shall be clearly marked through the use of a change in elevation or paving materials distinguished by their color, texture, or height. A walkway through the parking lot connecting to a walkway(s) along an adjoining building(s) shall be required and include a four feet (4') minimum sidewalk and planting areas for a combined minimum width of nine (9) feet. The Planning Commission may consider a shared walkway through parking areas on two adjoining parcels.

(5) Bicycle Racks

(a) Bicycle parking shall be provided at a ratio of one (1) space for every twenty (20) dwelling units.

(b) Bicycle parking shall not be located where it will obstruct pedestrian movement and circulation. It shall be located at a maximum distance of one-hundred (100) feet of a central building entrance or at least as close as the closest automobile space, excluding handicapped parking spaces.

(c) All bicycle racks, lockers, or other facilities shall be securely anchored to the ground or to the structure.

(Ord. No 06-09 Enacted 04/11/2006)

7-14-305. BUILDING MATERIALS.

All multi-family residential buildings exteriors shall be 100% masonry. For the purposes of this Section, masonry shall include brick, stucco, stone or fiber cement siding (hardie plank). Metal, wood and vinyl may be used as trim, soffits and/or accent materials only.

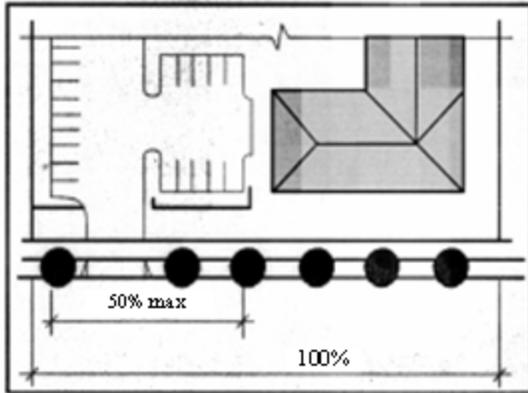
(Ord. No 06-09 Enacted 04/11/2006)

7-14-306. GENERAL REQUIREMENTS.

Multi-family residential buildings shall meet the following standards:

(1) When exterior stairways are used, they shall be stylistically consistent with and architecturally integrated into the buildings they serve. Exterior stairs, which are not architecturally consistent with the building design as determined by the Planning Commission, are prohibited.

(2) Off-street parking areas shall not comprise more than 50% of the elements along a development's street frontage.



(3) All façades of a building shall be built with consistent architectural style, detail and trim features of the primary façade. Accessory buildings such as clubhouses and garages shall be built with similar colors, materials and architectural features as the multi-family residential buildings within the same development.

(4) In residential developments with more than 4 buildings with dwelling units, the architectural features shall vary between buildings using different treatments from Sections 7-14-305, 7-14-308, 7-14-309, 7-14-310 and/or other building variations as determined by the Planning Commission.

(5) All mechanical equipment shall be screened from view through the use of solid visual barrier fencing or landscaping. Screening of utility meters is encouraged.

(6) Trash dumpsters shall be completely screened from surrounding properties by use of a concrete or masonry wall or shall be enclosed within a building. Trash dumpsters shall be located at least 20' from any adjacent residential property line and at least 20' from any dwelling unit.

(7) All multi-family residential developments shall include either washer and dryer hook-ups for each dwelling unit or an on-site laundry.

(Ord. No 06-09 Enacted 04/11/2006)

7-14-307. ASSESSMENT OF RELIEF, WINDOW AND DESIGN TREATMENTS.

A building relief treatment, window treatment or building design treatment from the following three sections shall only be counted once when assessing compliance with the minimum number of treatments required. For example, if a building uses brick and stucco as exterior materials, the change of materials can count only as a change of materials under 7-14-310(2) and not a change of color under 7-14-310(3).

(Ord. No 06-09 Enacted 04/11/2006)

7-14-308. BUILDING RELIEF TREATMENTS.

Primary façades shall include at least two of the following relief treatments. One of the relief treatments shall be utilized at least once per dwelling unit. Secondary façades shall include at least one of the following relief treatments utilized at least once per two

dwelling units.

- (1) Bay windows
- (2) Box windows
- (3) Building offsets or projections with a minimum depth of 2' and a minimum width of 4'
- (4) Balconies or covered porches
- (5) Any other treatment that, at the discretion of the Planning Commission, meets the intent of this Section.

(Ord. No 06-09 Enacted 04/11/2006)

7-14-309. WINDOW TREATMENTS.

Primary façades shall include at least two of the following window treatments with at least one window treatment per window. All other façades shall utilize at least one of the following window treatments per window.

- (1) Varying the size and/or style of windows
- (2) Windows sills
- (3) Window grids
- (4) Window trim
- (5) Window headers
- (6) Window railing
- (7) Shutters

(8) Any other treatment that, at the discretion of the Planning Commission, meets the intent of this Section.

(Ord. No 06-09 Enacted 04/11/2006)

7-14-310. BUILDING DESIGN TREATMENTS.

Primary façades shall include at least two of the following building design treatments. Secondary façades shall include at least one of the following building design treatments.

- (1) Ornamental details such as quoins, knee braces and exposed joists
- (2) A change of material applied to at least 20% of the façade
- (3) A change of color applied to at least 20% of the façade
- (4) Decorative parapet
- (5) Architectural banding
- (6) Cornice other than that at the top of the building

(7) A change of pattern applied to at least 20% of the façade (Example: changing brick work from face brick to a soldier course or basket weave pattern.)

(8) A distinguished upper floor for buildings with at least four floors

(9) Any other treatment that, at the discretion of the Planning Commission, meets the intent of this Section.

(Ord. No 06-09 Enacted 04/11/2006)

7-14-311. GARAGE TREATMENTS.

(1) All multi-family residential developments with a garage or garages on the primary façade shall include at least one of the following garage treatments per garage.

(a) Enclosed second-floor living space over the garage(s) extending to or cantilevering over the front face of the garage(s)

(b) Garage(s) is flush with or recessed from the primary façade.

(2) No more than 50% of the first floor of the primary façade shall be devoted to garage doors or carports. This percentage may be increased to a maximum of 60% for garage doors if: windows are used in the garage doors, the garages are recessed at least two feet from the rest of the primary façade or other enhancements are made to the garage doors. Examples of other enhancements include using decorative wood or breaking up the mass of two car garage doors by using two separate single car doors or by using panels or other treatments to make the door appear to be divided into two sections.

(3) The color of garage doors shall be coordinated with the primary colors of the buildings they serve.

(Ord. No 06-09 Enacted 04/11/2006)

7-14-312. ROOF TREATMENTS.

(1) Where pitched roofs are used, the minimum roof pitch shall be 4:12.

(2) Where pitched roofs are not used, a decorative parapet shall be included on at least the primary façade. All façades shall include a parapet wall that is tall enough to block the view from the adjacent street(s) of roof mounted equipment. Noise issues related to roof mounted equipment may require the parapet wall to be at least as tall as the roof mounted equipment.

(3) Vertical or horizontal roof articulation is required on all primary façades with pitched roofs. No more than two dwelling units shall be covered by a single, unarticulated roof. Roof articulation shall be achieved by changes in plane and/or the use of traditional roof forms such as gables, hips, and dormers.

(4) Roof mounted air conditioning units are prohibited on pitched roofs. Roof mounted air conditioning units are allowed on flat roofs if a parapet wall is provided to screen the units.

(5) Gable ends must have a minimum 6 inch overhang at the eaves.

(6) Where asphalt shingles are proposed as roofing materials on pitched roofs, laminated architectural shingles shall be used.

(Ord. No 06-09 Enacted 04/11/2006)

7-14-313. AMENITIES.

All multi-family residential developments with 50 to 75 dwelling units shall include at least two amenities from the following list. At least one of the two amenities shall be from the major amenities list. All multi-family residential developments with 76 to 99 dwelling units shall include at least four amenities from the following list. At least two of the four amenities shall be from the major amenities list. All multi-family residential developments with 100 or more dwelling units shall include at six amenities from the following list. At least three of the six shall be from the major amenities list.

Major	Minor
Swimming pool	Tot lot
Courtyard	Volleyball court
Clubhouse (without fitness room)	Hot tub
Garages	Walking/exercise trail
On-site manager	Basketball court
Fitness room	Tennis court
Private patio or balcony of at least 60 square feet for each unit	Any other amenity that, at the discretion of the Planning Commission, meets the intent of this Section.
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(Ord. No 06-09 Enacted 04/11/2006)

7-14-314. FENCING.

Within the required setback along any property side adjacent to a minor street, minor collector or collector, solid visual barrier fencing cannot exceed two feet in height. Where a solid visual barrier fence over two feet in height fence is installed along a minor arterial or major arterial, the fence must be setback at least ten feet from the public sidewalk to allow space for landscaping. The materials and design of a solid visual barrier fence which is over two feet in height and placed within the required setback along a minor arterial or major arterial are subject to review by the Planning Commission to ensure compatibility with neighboring uses.

(Ord. No 06-09 Enacted 04/11/2006)

7-14-315. OPEN SPACE.

At least 15% of a multi-family residential development's total area shall be useable open space. For the purposes of this Section, useable open space shall mean recreation areas including basketball, tennis or racquetball courts; baseball, softball or soccer fields; trails; picnic areas; plazas; dedicated or private park sites or any other use deemed acceptable by the Planning Commission. Useable open space shall not include parking

lots, all buildings except clubhouses, setback areas less than 20', and narrow landscaped strips.

(Ord. No 06-09 Enacted 04/11/2006)