

TITLE 11 – DEVELOPMENT CODE

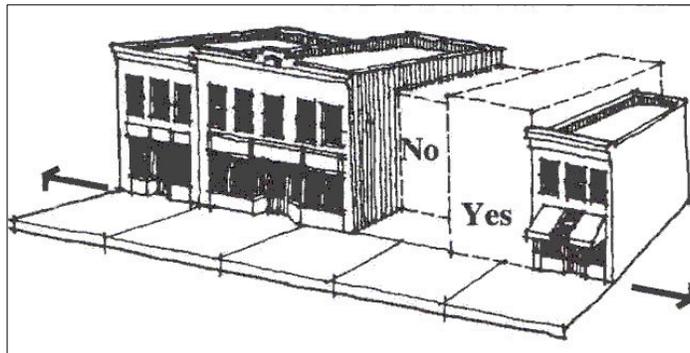
CHAPTER 5 – OVERLAY DISTRICT REGULATIONS

ARTICLE 5 – WESTFIELDS OVERLAY – VILLAGE CENTER ZONE

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11-5-501 Purpose

- (1) The Village Center (VC) of the Westfields Overlay zone is intended to provide a setting for a mix of commercial, office, public/quasi-public and residential uses that will primarily serve the Westfields Community and others needing the services of this area. The three specific Sections included in the Village Center include the Mixed-Use, Civic and Multi-Family Residential. The Village Center will be primarily designed with the needs of pedestrians in mind, while accommodating motorists. Buildings will be constructed of quality materials and be designed with features characteristic of an urban village. Rights-of-way shall also be designed to complement the overall urban feel of the area
- (2) The Mixed-Use Section of the Village Center will include a continuous street wall at the property line, while the Multi-Family Section includes shallow setbacks, which allows for greenspace, and then a street wall for the block. Depending on the use or uses associated with the Section, the Civic Section will be looked at on a case-by-case basis. Within each of these Sections, facades facing public streets and ways are intended to include adequate windows to provide “eyes on the streets” of the Village Center and blank walls are discouraged.



Buildings in the Mixed-Use Section should be built to the front property line.

11-5-502 General Provisions

- (1) Uses in the Westfields Village Center are specified in the Table of Uses under the zoning classification of Village Center.
- (2) The Westfields Village Center shall meet the requirements of the Commercial and Industrial Zones Site Development Standards for all non-residential developments and vertical mixed-use developments (commercial on the first floor with residential or other uses above) and the requirements of the Residential Zones Site Development Standards for all solely residential uses.
- (3) Site Plan and Design Review – All development within the Westfields Overlay Zone shall be subject to the Site Plan Review Chapter of the Zoning Ordinance, along with the Design Review criteria of this chapter.
- (4) Parking shall meet the requirements of parking lot provisions found in Section 11-6-113 of the Zoning Code.
- (5) Landscaping and Fencing shall meet the requirements of the Landscaping and Fencing Chapter of the Zoning Code.
- (6) Within the Mixed-Use Section, at least 75% of the block along the primary street shall include buildings located at the property line and within the Multi-Family Section, at least 75% of the block along the primary street shall include building façade located no more than 30’ from the front property line.

11-5-503 Mix Standards

The Westfields Overlay Zone includes an area of approximately 60 acres. The use mix for the net developable area (excluding rights-of-way) of land is as follows:

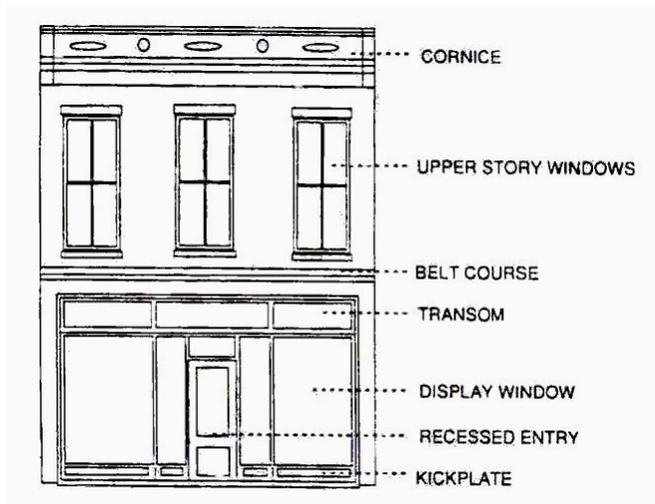
High Density Residential Area	up to 60 %
Mixed-Use Area	up to 30%
Civic Use Area	up to 10%

In order to ensure construction of the Mixed-Use Area of the Village Center, no more than 50% of the multi-family residential development may be built in the Center prior to beginning construction of the mixed-use portion of the center. At the time 50% of mixed-use center is complete, submission may be made for the next 25% of multi-family development. At the time the remainder of the mixed-use portion is complete, the remaining 25% of multi-family residential development may be considered for approval.

11-5-504 Design Standards for Mixed-Use Sections of the Village Center

- (1) Architectural Character: Contemporary interpretation of traditional commercial buildings is encouraged. Design elements associated with traditional store facades,

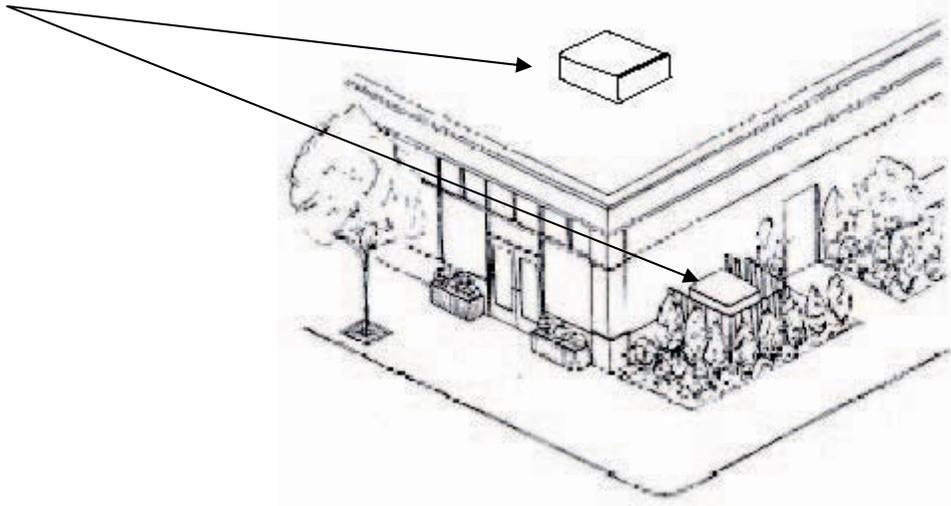
such as kickplates, large first-floor display windows, transoms, and cornice elements will be included.



This illustration includes the portions of a front façade that should be included in buildings in the Mixed-Use Section of the Village Center.

- (2) Awnings shall be:
 - (a) Mounted to accentuate character-defining features of the façade.
 - (b) Semi-circular, odd shaped, bubble and bull-nose awnings are inappropriate.
 - (c) Back-lit awnings are not allowed.
 - (d) The angled plane of the awning shall appear larger than the vertical valance plane of the awning and the valance may not exceed 14”.
 - (e) Awning signage shall meet the requirements of the Sign Code.
 - (f) Rigid-frame awnings may be used.
- (3) Building Equipment.
 - (a) All building equipment and service areas, including roof and ground level HVAC and other equipment that is visible from a public street or way shall be screened.

Screening of
Mechanical Equipment

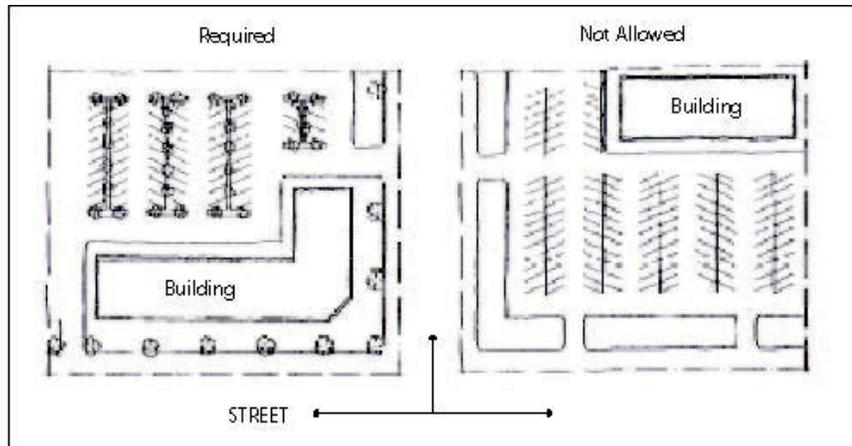


- (b) Equipment placed on the roof should be setback at least 15' from any public street or way.
- (4) Building Fenestration/Transparency.
 - (a) All first floor facades facing a public street or way shall include clear windows in at least 50% of the primary street façade area. Glass in these areas may not be reflective, opaque or glass-block.
 - (b) The maximum length for any blank wall uninterrupted by windows, doors or architectural detailing at the first floor level shall be 30 feet.
 - (c) There shall be at least one operable building entrance per elevation that faces a public street. Buildings on corner lots need only have one operable building entrance, provided the facades of both streets meet the 50% window requirement.



- (d) All second floor facades facing a public street or way shall include clear window in at least 25% of the façade area.
 - (e) Upper story windows shall have a vertical emphasis
 - (f) Windows shall be set inside of the building face wall.
- (5) Building Form.
- (a) Arcades, colonnades and recessed entryways are encouraged.
 - (b) Roof tops should appear to be flat from public streets and ways. Parapets may be used to obscure pitched roofs.
- (6) Building Mass and Scale.
- (a) Large buildings should be divided into smaller modules or bays of 12 to 30 feet in width.
 - (b) Large projects that occupy over 75' of frontage shall include varying building heights to provide variety to the streetscape.
- (7) Building Materials.
- (a) The primary building material for facades facing a public streets or way shall be standard sized brick, with carved, rusticated or dressed stone, cast concrete or stucco used as accent materials. First floor storefronts may include wood or aluminum framing
 - (b) Walls located between buildings, that will not be exposed, may be constructed of CMU (concrete masonry units).
 - (c) Rear facades adjacent alleyways or parking areas may include standard-sized brick, stone, cast concrete or stucco.
- (8) Parking.

Off-site parking shall be located behind the buildings, with access from side streets.

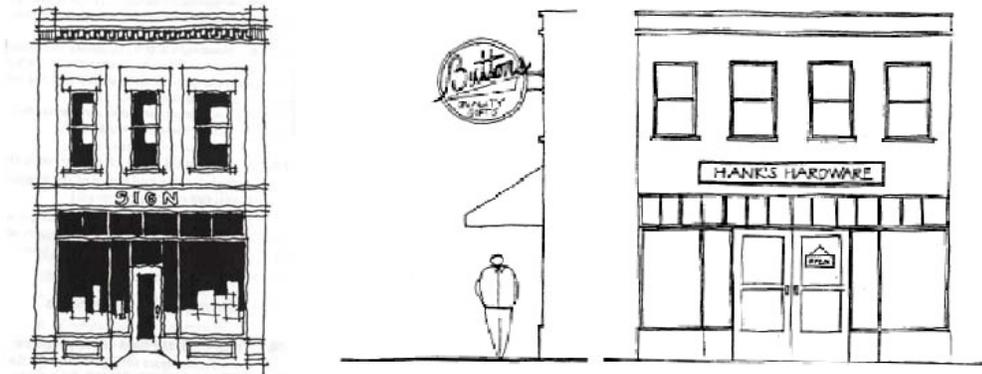


(9) Right-of-way.

- (a) Streets within the Mixed-Use Section of the Village Center shall be designed as minor collectors to provide street side parking. Consideration may be given for angled parking in order to provide additional storefront parking.
- (b) The streetscape plan for the Mixed-Use Section shall meet the requirements of the Westfields right-of-way streetscape requirements, which shall include a minimum 5' sidewalk. The parkstrip area will include an 8' by 8' street tree planters spaced every 40' on center, separated by a hard-surfaced brick pavers or similar treatment.
- (c) The outdoor permanent sales or display of merchandise shall not encroach into areas of required sidewalk, landscaping or parking.
- (d) At least 5% of net area in the Mixed-Use Section shall include a plaza or square with seating provided at a rate of one sitting space per 250 square feet, at least 30 inches wide and 16 inches in height. Sitting spaces may include ledges or more formal benches. At least one of the following elements shall be provided:
 - (i) One tree per 800 square feet of area;
 - (ii) Water features or public art; and/or
 - (iii) Outdoor eating areas or food vendors.

(10) Signage.

- (a) Signage shall be in conformance with the Springville City Sign Ordinance.
- (b) Permanent signage should not hide architectural features of the building or obscure windows.



The area above the transom window is usually the most appropriate location for a wall sign.

11-5-506 Density Standards for the Mixed-Use Section of the Village Center

Residential Density for the Mixed- Use Section of the Village Center shall allow for two residential units for every 1000 square feet of commercial space on the first floor. No residential unit may be less than 600 square feet and must be located above the first floor.

11-5-507 Density and Design Standards for Multi-Family Section of the Village Center

The Multi-Family Section shall be subject to the same land use and development restrictions, standards and other requirements as the RMF-2 Zone and may receive up to a 50% density bonus by meeting the requirements of the Westfields Density Bonus program.
(Amended by Ord. No. #27-05, 12/06/2005)